

AGENCY COMMENT REQUEST

Date _____

We request your comments regarding the attached application currently under review.

<p style="text-align: center;">DISTRIBUTION</p> <p><u>Internal</u></p> <p><input checked="" type="checkbox"/> Building Inspection ___ Grading Inspection</p> <p>___ Advance Planning ___ Housing Programs</p> <p>___ Trans. Planning ___ Telecom Planner</p> <p>___ ALUC Staff ___ HCP/NCCP Staff</p> <p>___ APC Floodplain Tech ___ County Geologist</p> <p><u>Health Services Department</u></p> <p><input checked="" type="checkbox"/> Environmental Health ___ Hazardous Materials</p> <p><u>Public Works Department</u></p> <p>___ Engineering Services (Full-size) ___ Traffic</p> <p>___ Flood Control (Full-size) ___ Special Districts</p> <p><u>Local</u></p> <p><input checked="" type="checkbox"/> Fire District <u>Kensington Fire</u></p> <p>___ Consolidated – (email) fire@cccfd.org</p> <p><input checked="" type="checkbox"/> Sanitary District <u>Steger</u></p> <p><input checked="" type="checkbox"/> Water District <u>East Bay MUD</u></p> <p><input checked="" type="checkbox"/> City of <u>El Cerrito</u></p> <p>___ School District(s) _____</p> <p>___ LAFCO</p> <p>___ Reclamation District # _____</p> <p>___ East Bay Regional Park District</p> <p>___ Diablo/Discovery Bay/Crockett CSD</p> <p><input checked="" type="checkbox"/> MAC/TAC <u>Kensington MAC</u></p> <p>___ Improvement/Community Association</p> <p><input checked="" type="checkbox"/> CC Mosquito & Vector Control Dist (email)</p> <p><u>Others/Non-local</u></p> <p>___ CHRIS – Sonoma State</p> <p>___ CA Fish and Wildlife, Region 3 – Bay Delta</p> <p>___ Native American Tribes</p> <p><u>Additional Recipients</u></p> <p>_____</p> <p>_____</p> <p>_____</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner _____</p> <p>Phone # _____</p> <p>E-mail _____@dcd.cccounty.us</p> <p>County File # _____</p> <p>Prior to _____</p> <p style="text-align: center;">*****</p> <p>We have found the following special programs apply to this application:</p> <p><input checked="" type="checkbox"/> Active Fault Zone (Alquist-Priolo)</p> <p>___ Flood Hazard Area, Panel # _____</p> <p>___ 60-dBA Noise Control</p> <p>___ CA EPA Hazardous Waste Site</p> <p style="text-align: center;">*****</p> <p>AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: ___ None ___ Below ___ Attached</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Print Name _____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>
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CONTRA COSTA COUNTY
Department of Conservation & Development
Community Development Division

CONTRA COSTA
 2019 FEB 13 AM 11:25
 PLANNING & PERMIT CENTER

VARIANCE PERMIT APPLICATION

TO BE COMPLETED BY OWNER OR APPLICANT

OWNER

Name Matthew Kocher
 Address 159 Arlington Ave
 City, State/Zip Kensington CA 94707
 Phone 510 697 4391 email KOCHER@gmail.com

By signing below, owner agrees to pay all costs, including any accrued interest, if the applicant does not pay costs.

☐ Check here if billings are to be sent to applicant rather than owner.

Owner's Signature [Signature]

APPLICANT

Name Fred Hyer, Hyer Architecture
 Address 263 Amherst Avenue
 City, State/Zip Kensington CA 94708
 Phone 510.527.1915 email fred@hyerarchitecture.com

By signing below, applicant agrees to pay all costs for processing this application plus any accrued interest if the costs are not paid within 30 days of invoicing.

Applicant's Signature [Signature]

CONTACT PERSON (optional)

Name same as applicant
 Address _____
 City, State/Zip _____
 Phone _____ email _____

PROJECT DATA

Total Parcel Size: 7,778 SF
 Estimated Project Value: \$75,000
 Proposed Square Footage: 528

Project description (attach supplemental statement if necessary): rebuild existing garage retaining walls, entry stairs, deck over garage, and front planters

↓ FOR OFFICE USE ONLY ↓ FOR OFFICE USE ONLY ↓ FOR OFFICE USE ONLY ↓

Project description:

The applicant requests a Variance permit to allow for a 0-foot front setback (20-feet required) and a 1-foot 9-inch side setback (5-feet required) to rebuild an existing garage and retaining walls.

Property description: Berkeley Highlands Terrace 197

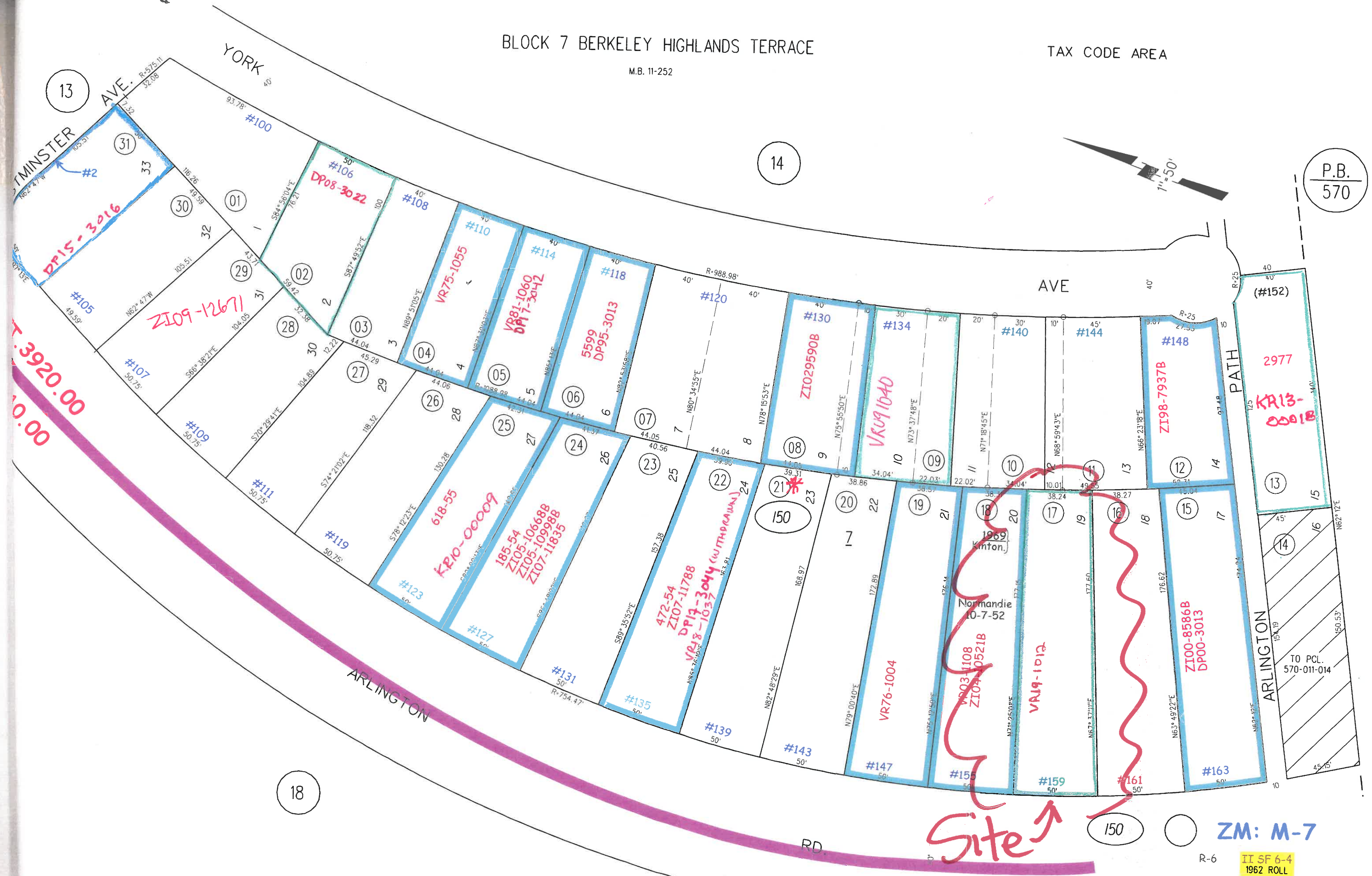
Ordinance Ref.:	TYPE OF FEE	FEE	CODE	Assessor's #:
Area: <u>Kensington</u>	*Base Fee/Deposit	<u>\$1,000</u>	S-044	572-150-017
Fire District: <u>Kensington Fire</u>	Late Filing Penalty (+50% of above if applicable)		S-066	Site Address: <u>159 Arlington Ave</u>
Sphere of Influence: <u>El Cerrito</u>	Notification Fee	<u>15.00 / 30.00</u>	S-052	Zoning District: <u>R-6-TOV-K</u>
Flood Zone: <u>X</u>	Fish & Game Posting (if not CEQA exempt)	<u>75.00</u>	S-048	Census Tract: <u>3220</u>
Panel Number:	Environmental Health Dept.	<u>57.00</u>	5884	Atlas Page:
x-ref Files:	Other:			General Plan: <u>54</u>
				Substandard Lot: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
				Supervisory District: <u>1</u>
				Received by: <u>Michael Hart</u>
Concurrent Files:	TOTAL	\$ 1,087		Date Filed: <u>2/13/19</u>
	Receipt	#190001772		File #VR <u>19-1012</u>
*Additional fees based on time and materials will be charged if staff costs exceed base fee.				

INSTRUCTIONS ON REVERSE

BLOCK 7 BERKELEY HIGHLANDS TERRACE

M.B. 11-252

TAX CODE AREA



P.B.
570

ZM: M-7

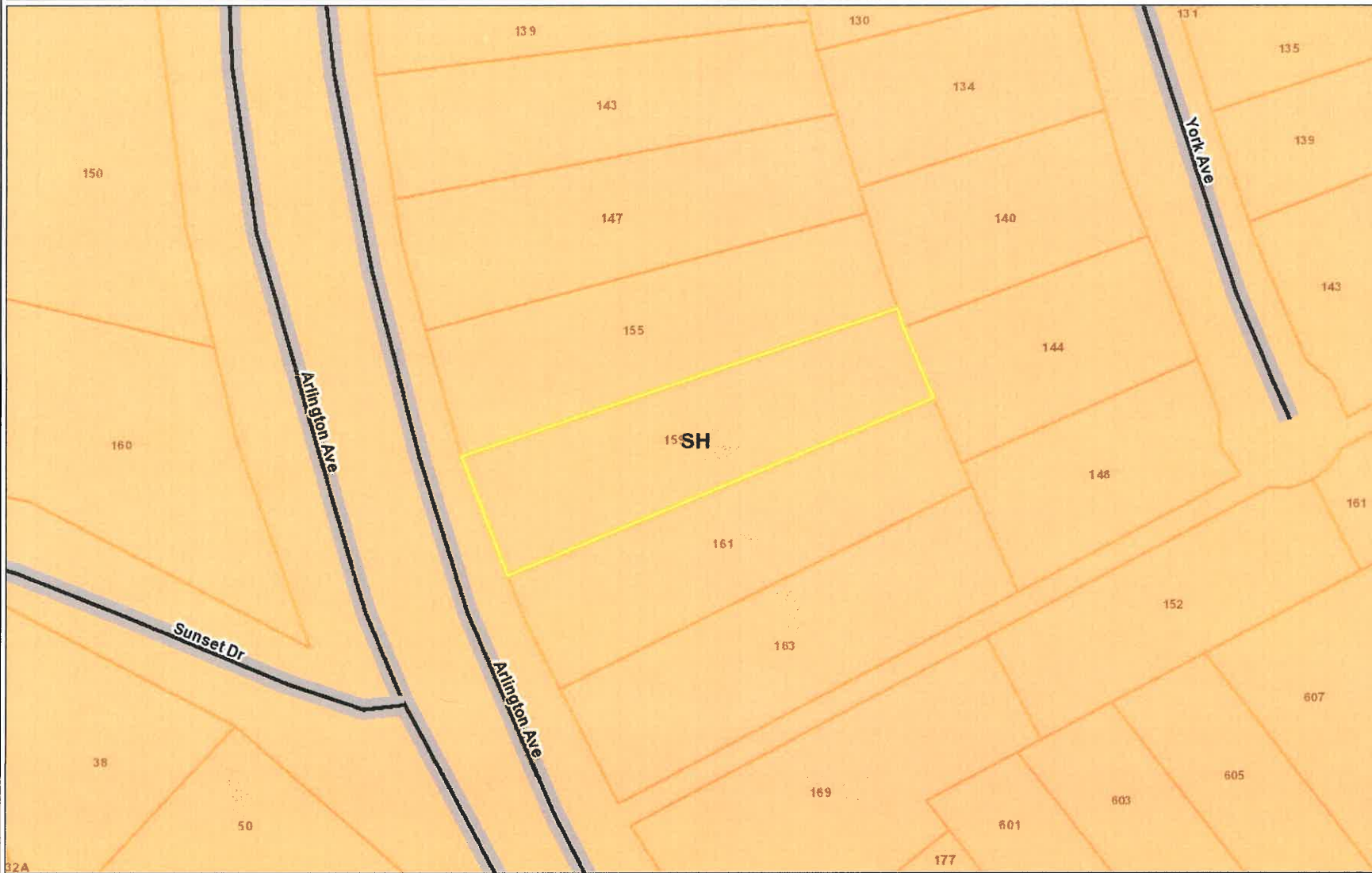
R-6 II SF 6-4
1962 ROLL

ASSESSOR'S MAP

BOOK 572 PAGE 15

7/1/19 CONTRA COSTA COUNTY, CALIF.

General Plan: SH Single Family Residential; High Density



Legend

- City Limits
- Highways
- Highways Bay Area
- Streets
- General Plan**
 - SV (Single Family Residential - Ver
 - SL (Single Family Residential - Low
 - SM (Single Family Residential - Me
 - SH (Single Family Residential - Hig
 - ML (Multiple Family Residential - Lc
 - MM (Multiple Family Residential - M
 - MH (Multiple Family Residential - H
 - MV (Multiple Family Residential - V
 - MS (Multiple Family Residential - V
 - CC (Congregate Care/Senior Housi
 - MO (Mobile Home)
 - M-1 (Parker Avenue Mixed Use)
 - M-2 (Downtown/Waterfront Rodeo I
 - M-3 (Pleasant Hill BART Mixed Use
 - M-4 (Willow Pass Road Mixed Use)
 - M-5 (Willow Pass Road Commercia
 - M-6 (Bay Point Residential Mixed U
 - M-7 (Pittsburg/Bay Point BART Str
 - M-8 (Dougherty Valley Village Cent
 - M-9 (Montalvin Manor Mixed Use)
 - M-10 (Willow Pass Business Park I
 - M-11 (Appian Way Mixed Use)
 - M-12 (Triangle Area Mixed Use)
 - M-13 (San Pablo Dam Road Mixed
 - M-14 (Heritage Mixed Use)
 - CO (Commercial)
 - OF (Office)
 - BP (Business Park)
 - LI (Light Industry)
 - HI (Heavy Industry)
 - AL, OIBA (Agricultural Lands & Off
 - CR (Commercial Recreation)
 - ACO (Airport Commercial)
 - LF (Landfill)

1:564



0.0 0 0.01 0.0 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Contra Costa County -DOIT GIS

Zoning: R-6, -TOV -K



Legend

- City Limits
- Highways
- Highways Bay Area
- Streets
- Zoning**
 - R-6 (Single Family Residential)
 - R-6-FH (Single Family Residential Combining District)
 - R-6,-FH -UE (Single Family Resid Urban Farm Animal Exclusion Com
 - R-6 -SD-1 (Single Family Resident Hillside Development Combining Di
 - R-6 -TOV -K (Single Family Reside View Ordinance and Kensington Cc
 - R-6,-UE (Single Family Residential Exclusion Combining District)
 - R-6-X (Single Family Residential - Combining District)
 - R-7 (Single Family Residential)
 - R-7-X (Single Family Residential - Combining District)
 - R-10 (Single Family Residential)
 - R-10,-UE (Single Family Resident Exclusion Combining District)
 - R-12 (Single Family Residential)
 - R-15 (Single Family Residential)
 - R-20 (Single Family Residential)
 - R-20,-UE (Single Family Resident Exclusion Combining District)
 - R-40 (Single Family Residential)
 - R-40-FH (Single Family Resident Combining District)
 - R-40,-FH -UE (Single Family Reside Urban Farm Animal Exclusion Com
 - R-40,-UE (Single Family Resident Exclusion Combining District)
 - R-65 (Single Family Residential)
 - R-100 (Single Family Residential)
 - D-1 (Two Family Residential)
 - D-1-T (Two Family Residential - Tr District)
 - D-1,-UE (Planned Unit - Urban Far Combining District)
 - M-12 (Multiple Family Residential)
 - M-12 -FH (Multiple Family Resident Combining District)
 - M-17 (Multiple Family Residential)
 - M-29 (Multiple Family Residential)

1:564

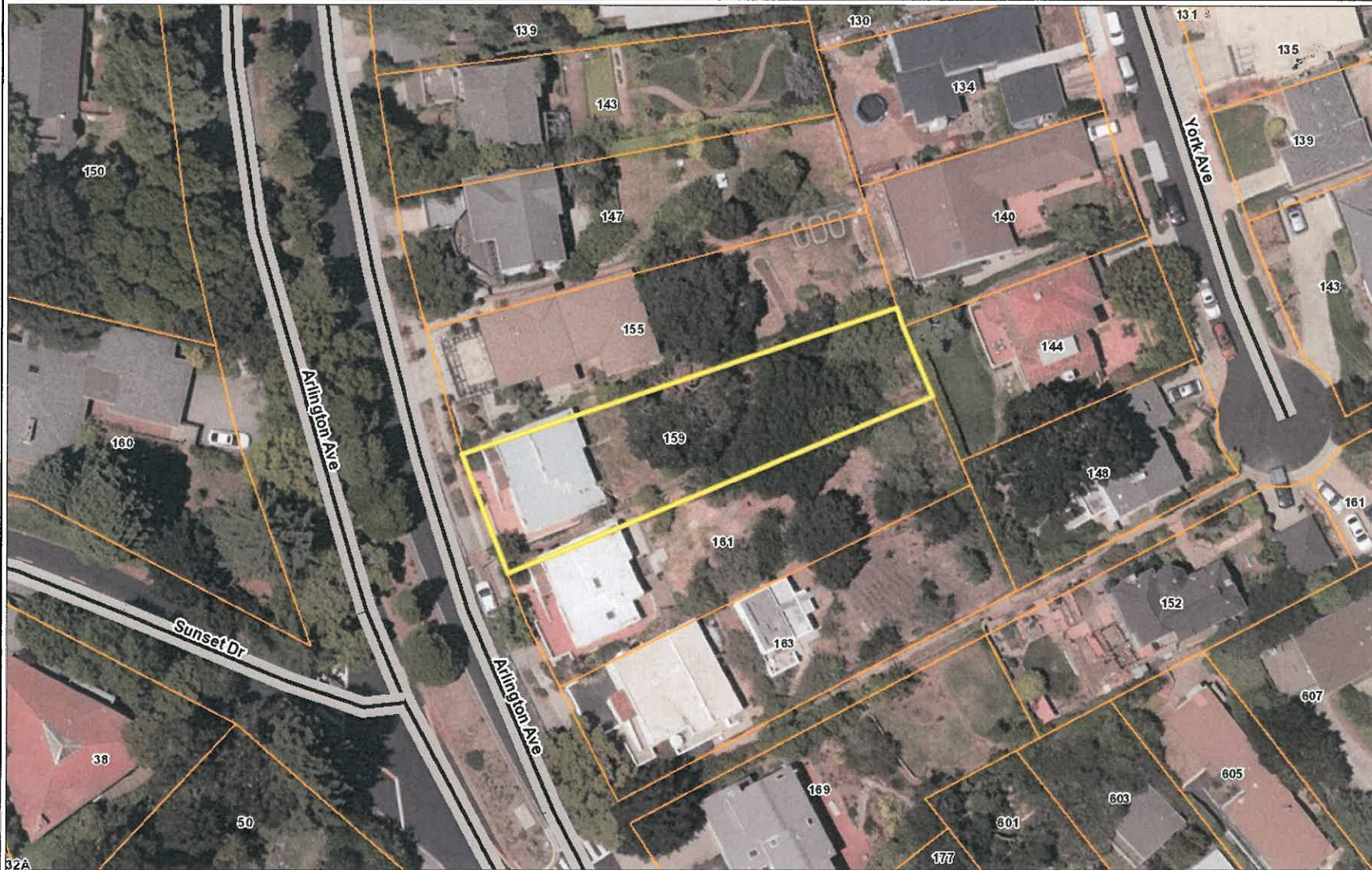


Notes

Contra Costa County -DOIT GIS



Aerial Photo



Legend

- City Limits
- Highways
- Highways Bay Area
- Streets
- Water Bodies
- County Boundary
- Bay Area Counties
- Assessor Parcels
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations

1:564



Notes

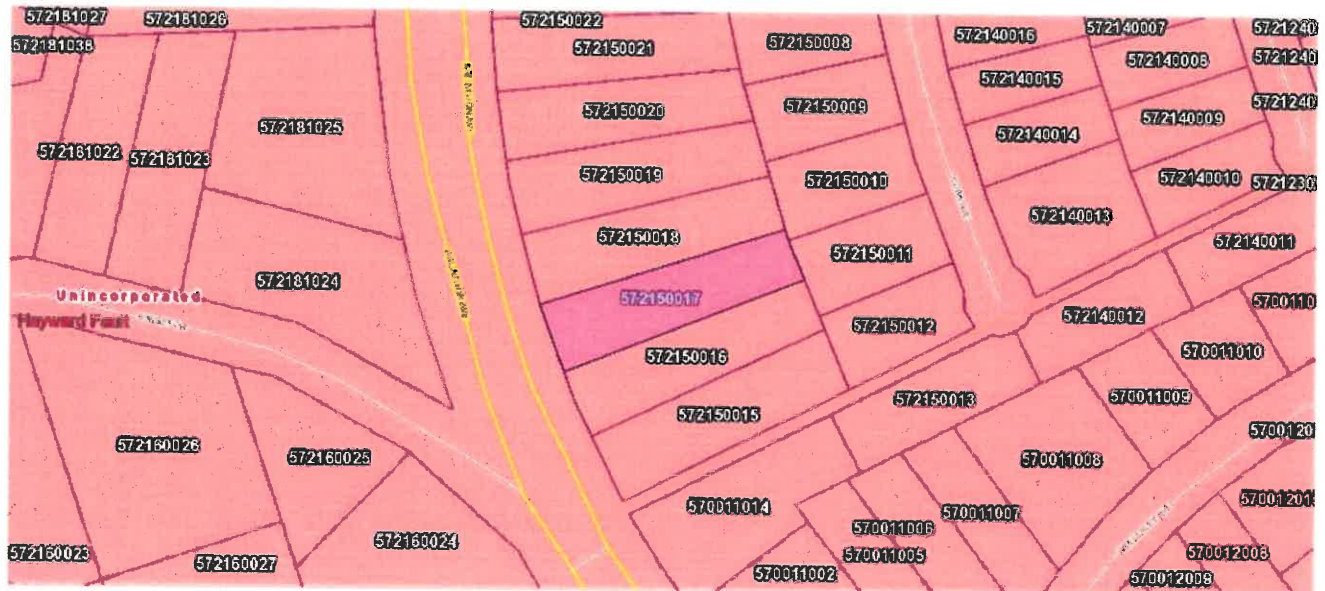
Contra Costa County -DOIT GIS

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0.0 0 0.01 0.0 Miles
WGS_1984_Web_Mercator_Auxiliary_Sphere

Alquist-Priolo Fault Zone: Hayward Fault



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GENERAL NOTES

1. It is intended that the work described on these drawings comply with all applicable codes and ordinances. The Contractor shall not proceed with any work that is non-compliant.
2. This project shall comply with California Code of Regulations Title 24, including: 2016 California Residential Code, 2016 California Mechanical Code, 2016 California Electrical Code, 2016 California Plumbing Code, 2016 California Energy Code, and Contra Costa County Amendments.
3. All work shall be compliant with the contract documents. Any non-compliant work shall be removed at the Contractor's sole expense.
4. The Contractor shall not make any changes in the work without a change order that has been approved by the Owner and the Architect.
5. The term "work" shall mean all materials, labor and equipment necessary to erect a fully functional and complete building, including all incidental tasks and items that are required but not shown on the drawings or described in the specifications.
6. Examination of the site and portions thereof which will affect the Contractor's work shall be made by the Contractor, who shall compare it with the drawings and satisfy themselves as to the conditions under which the work is to be performed. The Contractor shall, at such time, ascertain and check all existing conditions and dimensions which may affect the work. No allowance shall subsequently be made for the failure or neglect on the Contractor's part to make such examination. Any conflicts or omissions, etc., shall be reported to the Architect and Owner prior to start of work.
7. Do not scale the drawings. Coordinate all work with the dimensions shown on the drawings. Notify the Architect and Owner immediately upon the discovery of a dimensional inconsistency on the drawings. Do not proceed with the work until the discrepancy has been resolved.
8. All dimensions to face of stud unless otherwise noted
9. Written dimensions and notes take precedence over scaled dimensions and line drawings.
10. The drawings are a complementary set. What is shown and required on one drawing is applicable to all other drawings whether shown or referenced on the other drawings or not including the structural drawings. Notify the Architect and Owner of any inconsistencies between the drawings immediately upon discovery. Do not proceed with the work involved until the Architect has provided a written clarification regarding the discrepancy.
11. Errors, omissions or inconsistencies in the data contained in any of the schedules, in the specifications, or on the drawings do not relieve the Contractor from the obligation to complete the work in a fully functional manner. It is the Contractor's responsibility to obtain clarifications and additional information as may be required to complete the work.
12. The Contractor shall always be required to furnish the greater quality, the higher quality, or the largest extent of work that may be interpreted from any of the drawings, schedules, notes or specification sections. When in doubt, request a clarification before ordering the material in question.
13. When the term "furnish" is used, it shall also require the installation of the product or system. When the term "install" is used, it shall also require Contractor to furnish the item, unless it is specifically shown and described as an Owner furnished item in these documents.
14. Any substitutions proposed for use by the Contractor shall be included as an alternate to the bid. No substitutions shall be allowed after the contract has been signed except as authorized and approved by a written Change Order.
15. It is the Contractor's responsibility to order the specified or owner selected materials or equipment in a timely manner. Failure to do so shall not be justification for a material substitution or a schedule extension.
16. All workmanship shall be of the highest quality, and shall be approved by the Owner and Architect. Any work not approved shall be removed and replaced at the Contractor's sole cost.
17. The Contractor shall furnish all temporary heat, electric power, gas and potable water that may be required to complete the work.
18. The Contractor shall provide a waste container on site and shall remove waste from the workplace regularly. The waste container shall be replaced as necessary. Place the waste container in a location approved by the Owner.
19. The Contractor shall be responsible for removing left over materials, debris, tools, and equipment involved at the conclusion of the installation. The Contractor shall leave all areas clean and in perfect condition. All fixtures and reusable materials to be removed are to be stored and disposed of per the Owner's direction.
20. Verify all dimensions, site conditions and grades at the job site before proceeding with the work. Notify the Architect and Owner of any discrepancies immediately upon discovery.
21. Verify all locations and opening sizes of required for utilities and equipment. Coordinate the work of all trades to avoid any conflicts.
22. Provide all necessary personnel, equipment, and temporary barricades to protect the public during excavation work. Protect structures, sidewalks, pavement, fences, benches and facilities within or adjacent to the construction site from damage due to settlement, undermining, washout, or other hazards created during earthwork operations. Maintain benchmarks, monuments, and other reference points. Repair broken or cracked sidewalk curb and gutter damage due to earthwork.
23. Verify all anchorage requirements and install all required backing, blocking and support whether or not it is shown on the drawings.
24. Cutting of any fabricated structural members on the job site shall not be permitted. Obtain the Architect and Structural Engineer's written permission prior to making any site modifications to structural members, fabrications or assemblies.
25. The Contractor shall maintain a safe worksite at all times. Provide temporary barriers, safety railings, shoring and supports as may be required. Provide temporary lighting systems and maintain safe exit ways at all times during work hours. Provide temporary fire extinguishing equipment as required.
26. The Contractor shall install all permanent emergency lighting, exit lighting, lighted exit signs and fire extinguishers as required by these documents, and as approved by the local fire marshal.
27. All work furnished by the Contractor shall be covered by a one-year warranty. The warranty shall begin on the day the final occupancy certificate is issued by the permitting authority. Any failure in function or appearance shall be corrected to the Owner's satisfaction, including the complete replacement of the product or system.

PROJECT SUMMARY

Rebuild existing garage, entry stairs, and retaining walls. Existing garage walls are failing, and garage extension is in the public right of way. We will remove portion of garage in right of way and rebuild north and south walls and foundation, moving the north wall in order to widen garage. Stairs and deck over garage will be rebuilt and will have ceramic tile surface, new wrought iron guard rails and handrails. Retaining walls and planter boxes will be rebuilt and new lighting will be installed at deck and walkway. We will also replace windows with new windows in existing openings, as noted on elevations.

PROJECT DATA

	EXISTING	PROPOSED
Address:	159 Arlington Ave	No Change
Accessor Parcel Number:	572 150 017 0	No Change
Zoning:	R 2	No Change
Occupancy:	R3	No Change
Type of Construction:	Type V Non-rated	No Change
Number of Stories:	2	No Change
Parking:	non-conforming	No Change
Sprinklered:	no	No Change
Lot Area:	7788 sf	No Change
Building Area:	1364 sf	No Change

ABBREVIATIONS

ABV	ABOVE	FRP	FIBERGLASS REINFORCED PANEL
ADJ	ADJACENT	FO	FACE OF
AFF	ABOVE FINISHED FLOOR	GA	GAUGE
AP	ACCESS PANEL	GC	GENERAL CONTRACTOR
ACT	ACOUSTICAL CEILING TILE	GL	GLAZING, GLASS
A/C	AIR CONDITIONING	GSM	GALVANIZED SHEET METAL
ALT.	ALTERNATE	GYP	GYPSPUM
ARCH	ARCHITECTURAL	GWB	GYPSPUM WALL BOARD
BLKG	BLOCKING	HDWR	HARDWARE
BD	BOARD	HORIZ	HORIZONTAL
BOT	BOTTOM	INT	INTERIOR
BLDG	BUILDING	INSUL	INSULATION
CLR	CLEAR	KEC	KITCHEN EQUIPMENT CONTRACTOR
CLG	CEILING	MAX	MAXIMUM
CONC	CONCRETE	MECH	MECHANICAL
COL	COLUMN	MIN	MINIMUM
CPT	CARPET	MTRL	MATERIAL
CMU	CONCRETE MASONRY UNIT	MTL	METAL
CONST	CONSTRUCTION	NEW	NEW
CG	CORNER GUARD	NIC	NOT IN CONTRACT
DTL	DETAIL	NTS	NOT TO SCALE
DIM	DIAMETER	O/	OVER
DIM	DIMENSION	O.C.	ON CENTER
DR	DOOR	O.S.C.I.	OWNER SUPPLIED, CONTRACTOR INSTALLED
DWG	DRAWING	PBO	PROVIDED BY OWNER
DF	DRINKING FOUNTAIN	PLAM	PLASTIC LAMINATE
DISP	DISPENSER	PLYWD	PLYWOOD
EX, EX	EXISTING	REF	REFRIGERATOR
EA	EACH	REG	REGISTER
EL., ELEV	ELEVATION	RD	ROOF DRAIN
ELECT	ELECTRICAL	RO	ROUGH OPENING
EP	ELECTRICAL PANELBOARD	SEC	SECTION
EPS	EXPANDED POLYSTYRENE	SHT	SHEET
EWC	ELECTRIC WATER COOLER	SIM	SIMILAR
EQ	EQUAL	SO	SQUARE
EXT	EXTERIOR	SS	STAINLESS STEEL
FBO	FURNISHED BY OTHERS	SSD	SEE STRUCTURAL DRAWINGS
FF	FINISHED FLOOR	TBD	TO BE DETERMINED
FT	FEET	TYP	TYPICAL
FLR	FLOOR	UON	UNLESS OTHERWISE NOTED
FLUR	FLUORESCENT	VIF	VERIFY IN FIELD
FOF	FACE OF FINISH	WSCT	WAINSCOT
FOS	FACE OF STUD	WH	WATER HEATER
FIN	FINISHED		
FSEC	FOOD SERVICE EQUIP. CONTRACTOR		

DRAWING INDEX

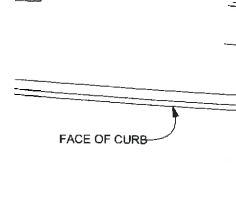
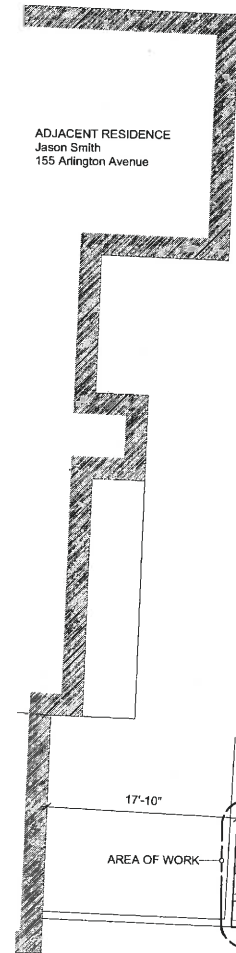
ARCHITECTURAL

A1.0	Site Plan, Vicinity Plan, General Notes, Project Info
A2.0	(P) Floorplans
A2.1	(E) Plans and Exterior Elevations
A3.0	(P) Exterior Elevations

GRAPHIC SYMBOLS

-----	EDGE OF OBJECT BELOW
-----	EDGE OF OBJECT ABOVE
=====	LOW WALL
-----	(E) WALL TO BE REMOVED
=====	(N) 2X STUD WALL
-----	(E) WALL

3 FULL SITE PLAN
1" = 40'

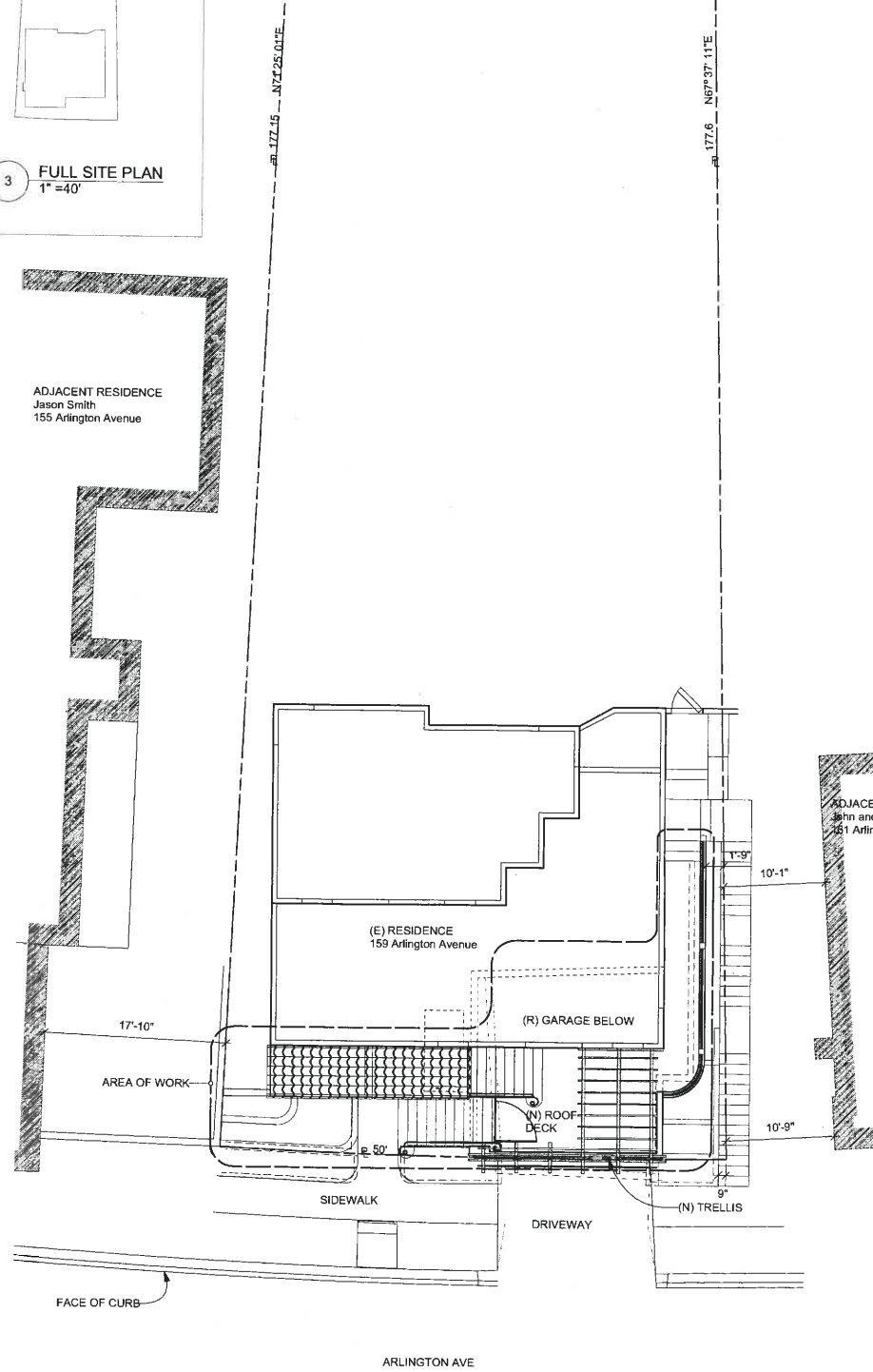


2 VICINITY MAP
not to scale

1 (P) SITE PLAN
Scale: 1/8" = 1'-0"



VR19-1912



Issue	Date
VARIANCE APPLICATION	02.12.19
VARIANCE rev. 1	
BUILDING PERMIT SET	
BUILDING PERMIT REVISION SET	

HYER ARCHITECTURE



KOCHER BARRINGER RENOVATION

PROJECT DATA	SITE PLAN
Date	02.12.19
Issue	VARIANCE
Drawn by	FLH
Sheet	A 1.0

Issue	Date
VARIANCE APPLICATION	02.12.19
VARIANCE REV 1	
BUILDING PERMIT SET	
BUILDING PERMIT REVISIONS SET	

HYER ARCHITECTURE
 263 amherst avenue
 kensington ca 94708
 510.527.1915 [t.f.]

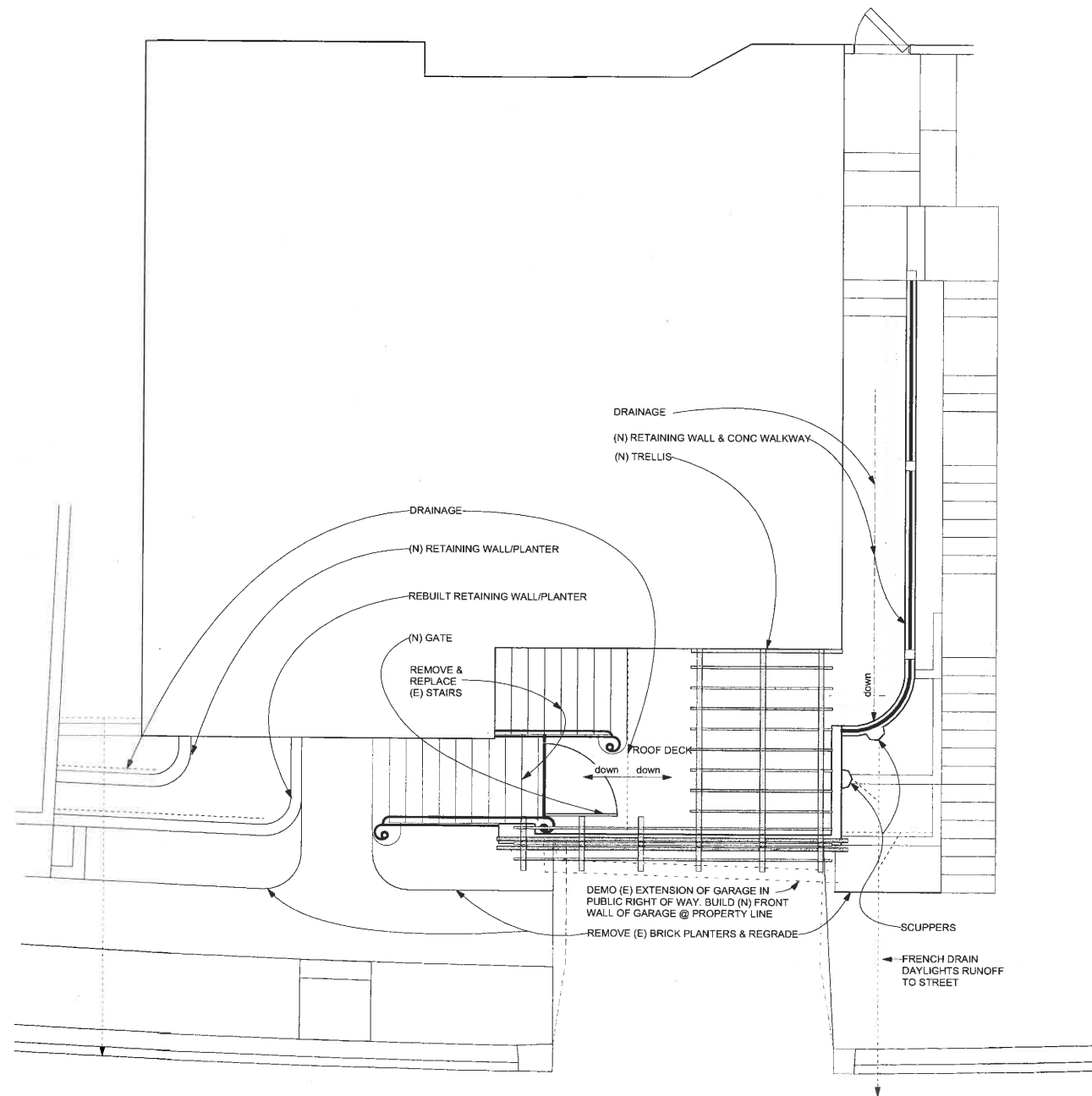


KOCHER BARRINGER RENOVATION
 159 Arlington Ave
 Kensington, CA 94708

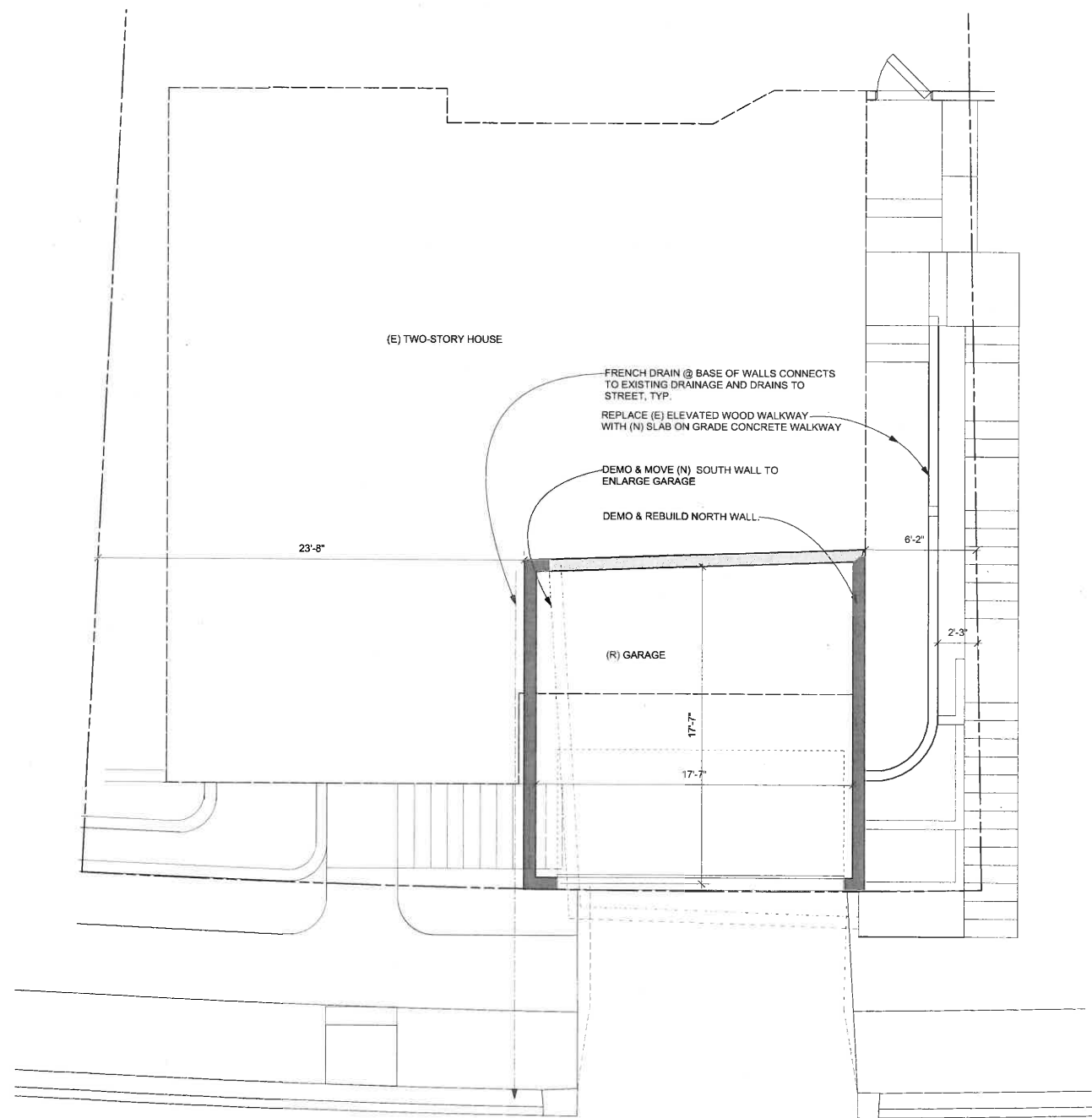
(P) FLOOR PLANS

Date	02.12.19
Issue	VARIANCE
Drawn by	FLH
Sheet	

A 2.0



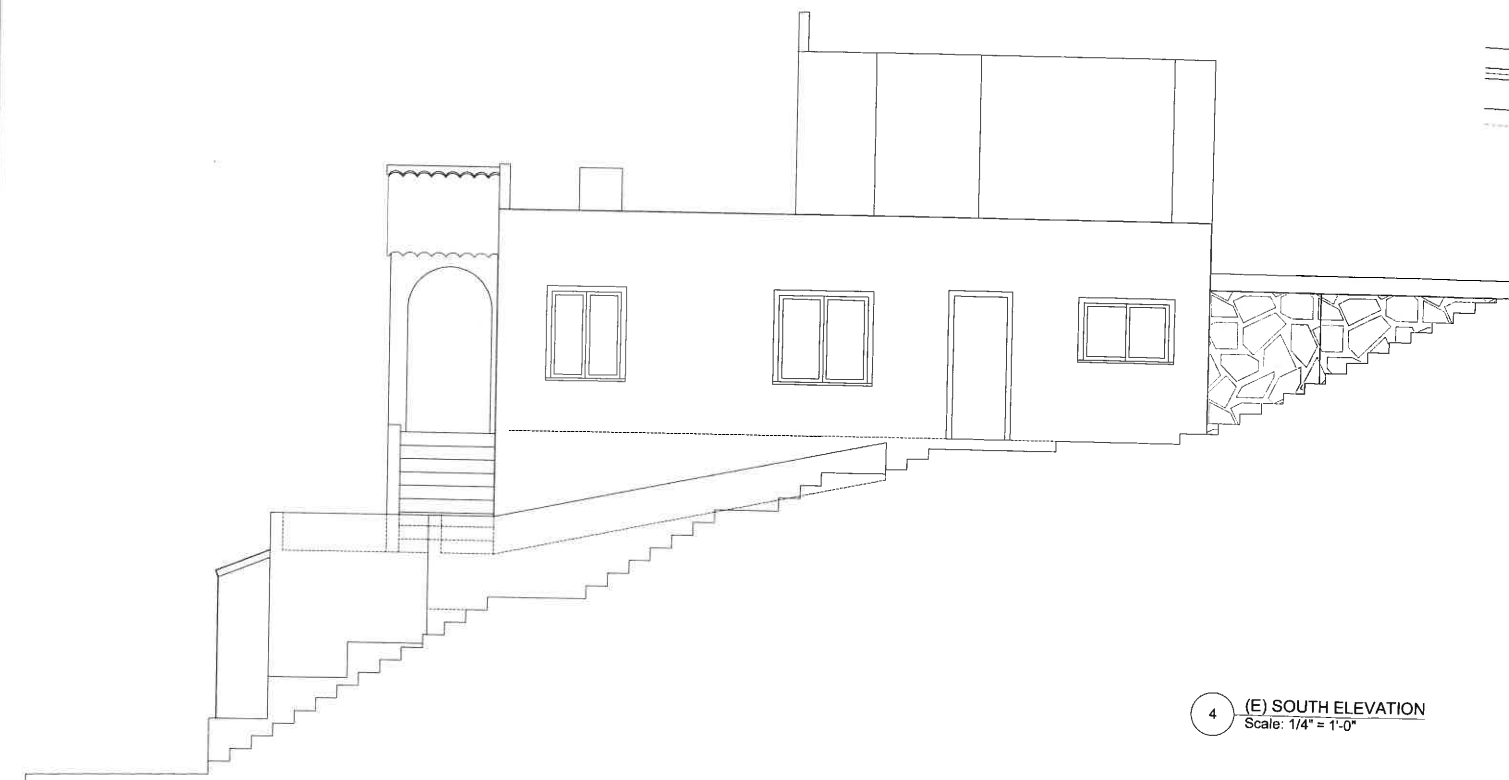
2 (P) DECK & STAIRS FLOORPLAN
 Scale: 1/4" = 1'-0"



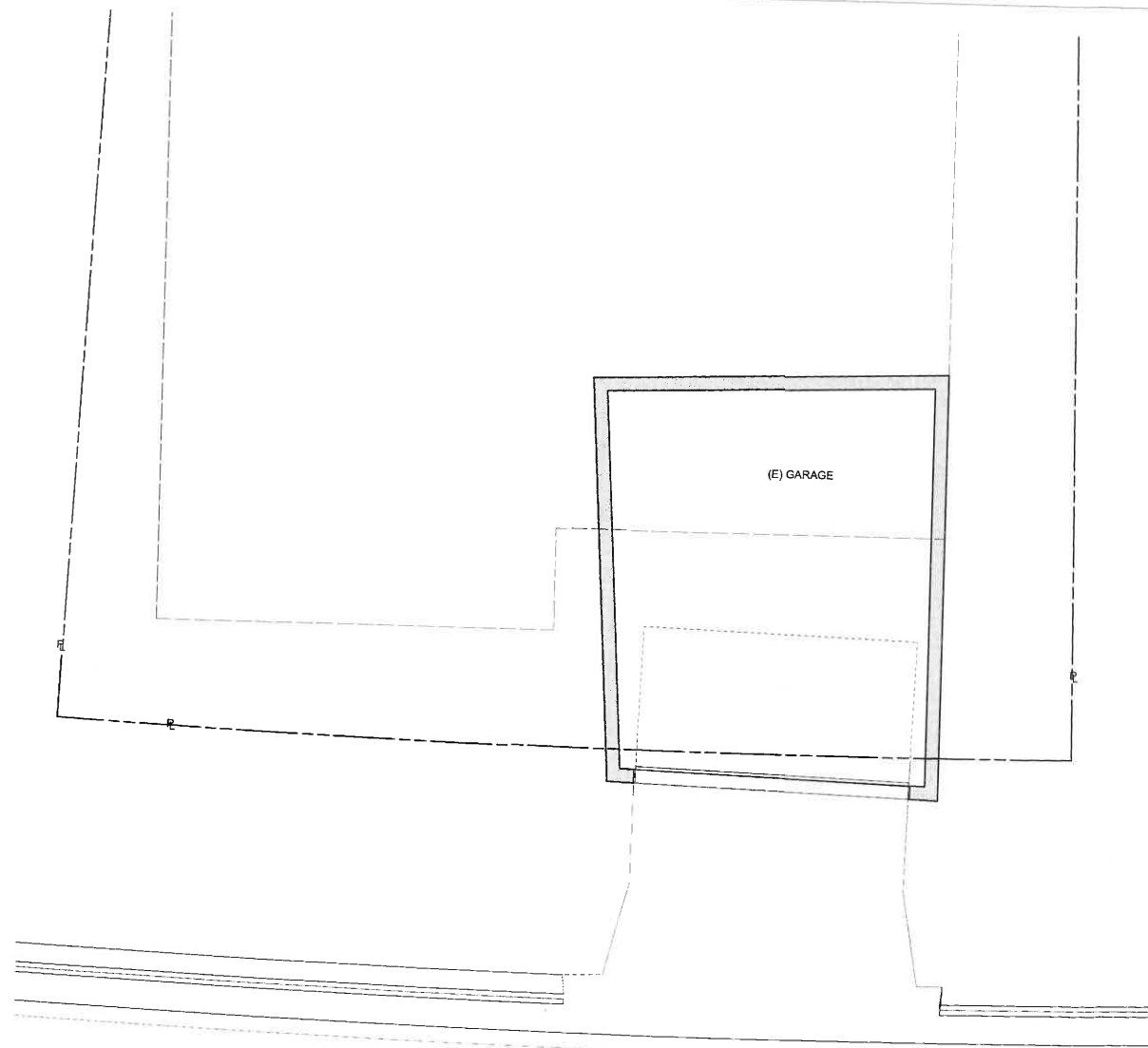
1 (P) GARAGE LEVEL FLOORPLAN
 Scale: 1/4" = 1'-0"



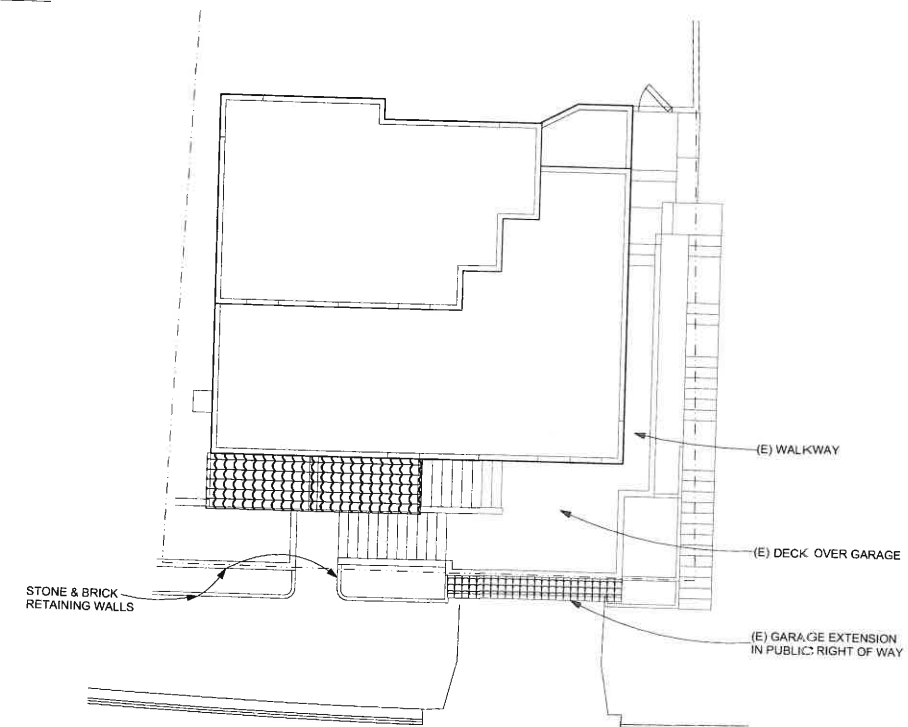
3 (E) FRONT ELEVATION
Scale: 1/4" = 1'-0"



4 (E) SOUTH ELEVATION
Scale: 1/4" = 1'-0"



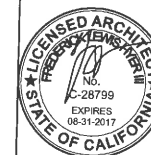
2 (E) GARAGE LEVEL FLOORPLAN
Scale: 1/4" = 1'-0"



1 (E) SITE PLAN
Scale: 1/8" = 1'-0"

Issue	Date
VARIANCE APPLICATION	02.12.19
VARIANCE rev 1	
BUILDING PERMIT SET	
BUILDING PERMIT REVISIONS SET	

HYER ARCHITECTURE
263 amherst avenue
kensington ca 94708
510.527.1915 (t.f.)

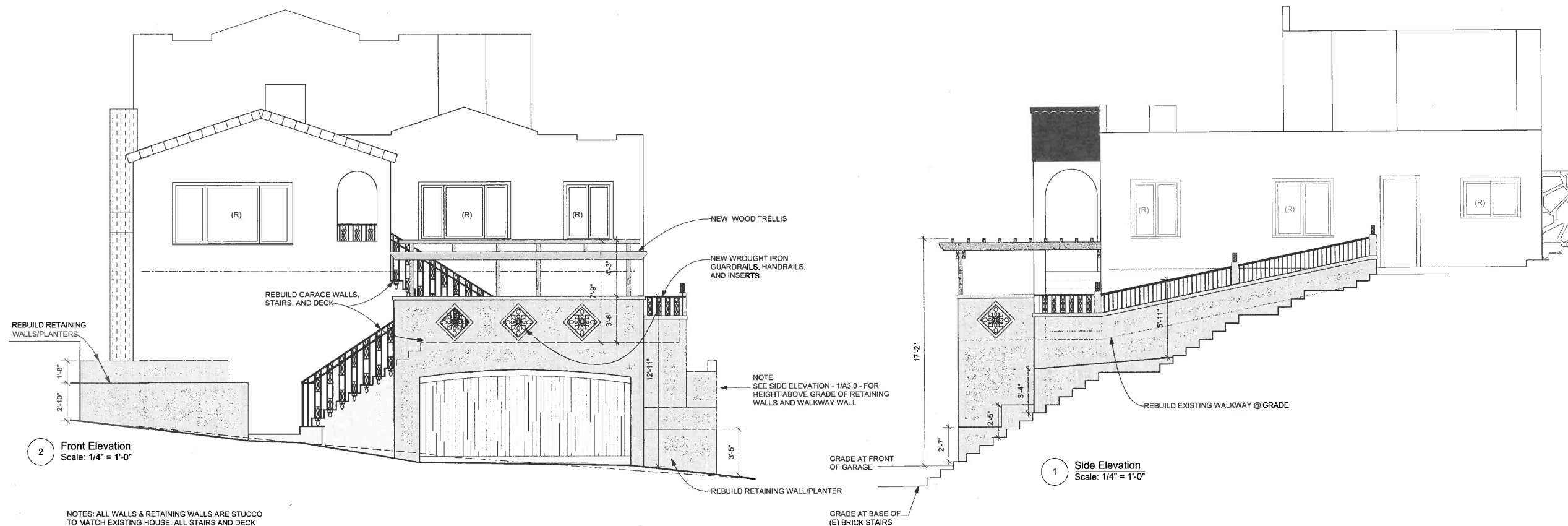


KOCHER BARRINGER RENOVATION
159 Arlington Ave
Kensington, CA 94708

AS BUILT
SITEPLAN
FLOORPLANS
ELEVATIONS

Date	02.12.19
Issue	VARIANCE
Drawn by	FLH
Sheet	

A 2.1



NOTES: ALL WALLS & RETAINING WALLS ARE STUCCO TO MATCH EXISTING HOUSE. ALL STAIRS AND DECK SURFACES ARE CERAMIC TILE OVER MORTAR BED.

Issue	Date
VARIANCE APPLICATION	02.12.19
VARIANCE #V 1	
BUILDING PERMIT SET	
BUILDING PERMIT REVISIONS SET	

HYER ARCHITECTURE

263 amherst avenue
kensington ca 94708
510.527.1915 [t.f.]



KOCHER BARRINGER RENOVATION

159 Arlington Ave
Kensington, CA 94708

EXTERIOR
ELEVATIONS
SECTIONS

Date	02.12.19
Issue	VARIANCE
Drawn by	FLH
Sheet	

A 3.0